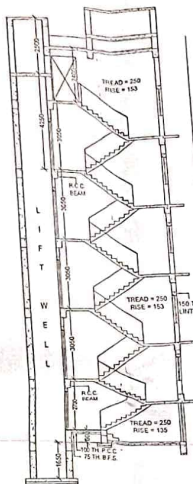
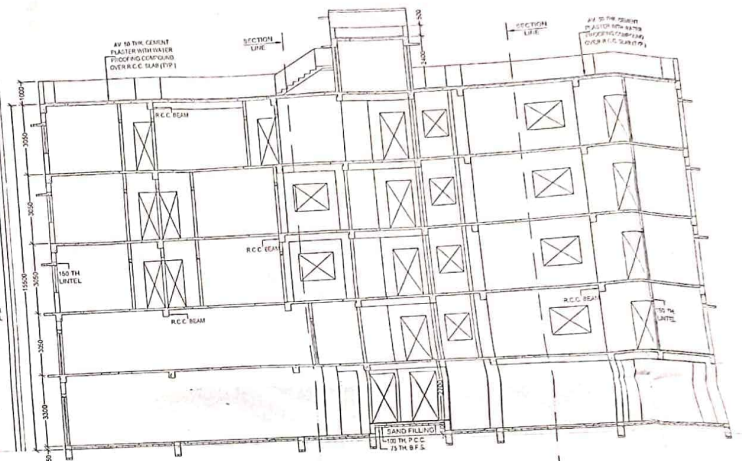


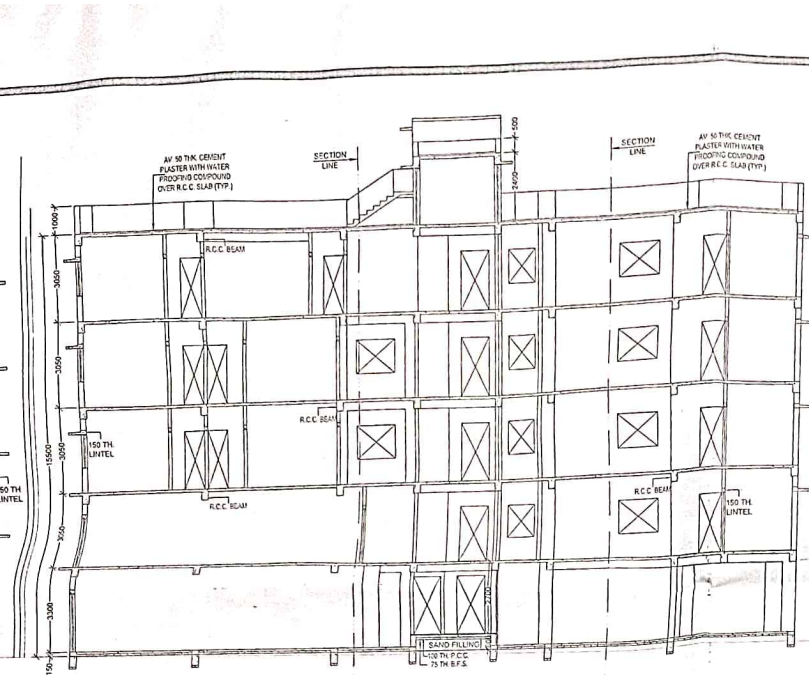
**FRONT ELEVATION**  
SCALE = 1:100



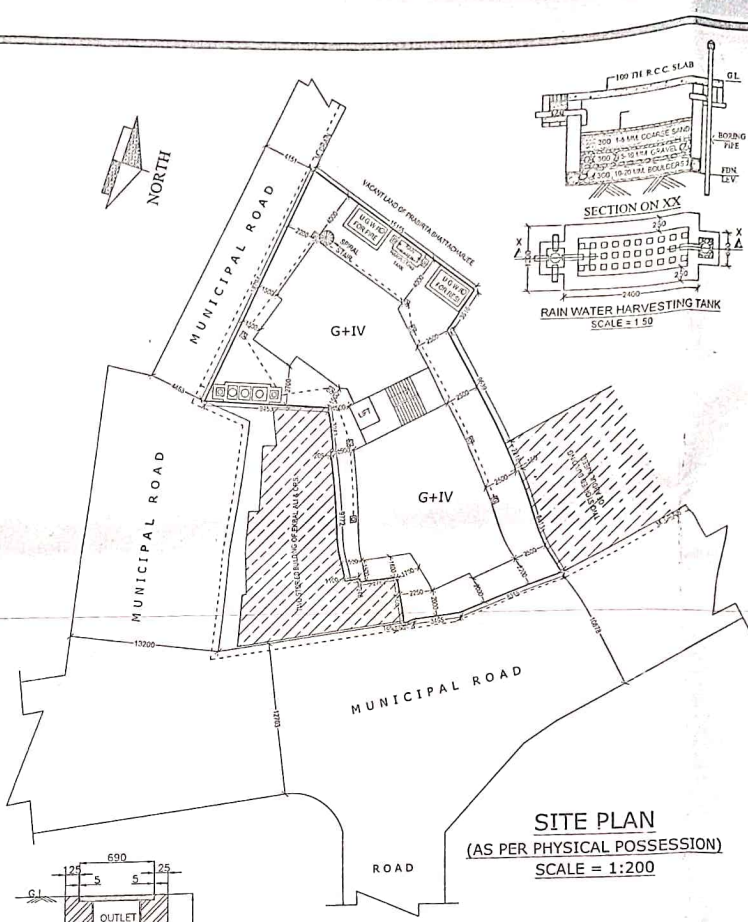
**SECTION ON = AA**  
SCALE = 1:100



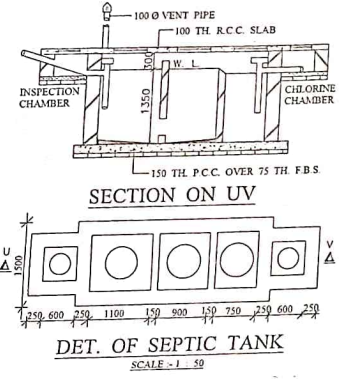
**SECTION ON = BB**  
SCALE = 1:100



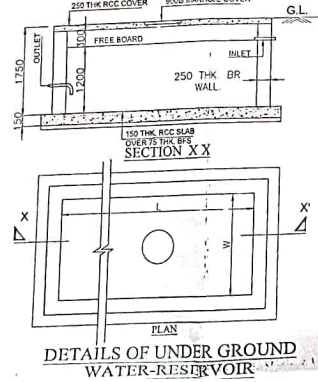
SECTION ON = BB  
SCALE = 1:100



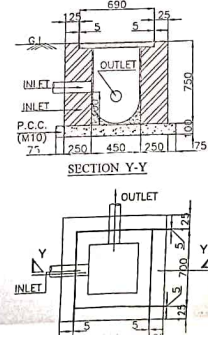
SITE PLAN  
(AS PER PHYSICAL POSSESSION)  
SCALE = 1:200



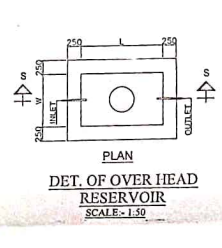
DET. OF SEPTIC TANK  
SCALE = 1:50



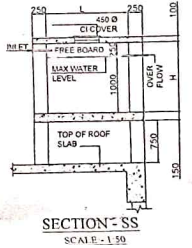
DETAILS OF UNDER GROUND  
WATER-RESERVOIR



SECTION Y-Y



DET. OF OVER HEAD  
RESERVOIR  
SCALE = 1:50

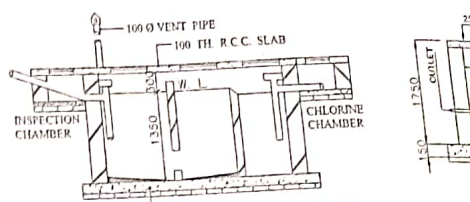
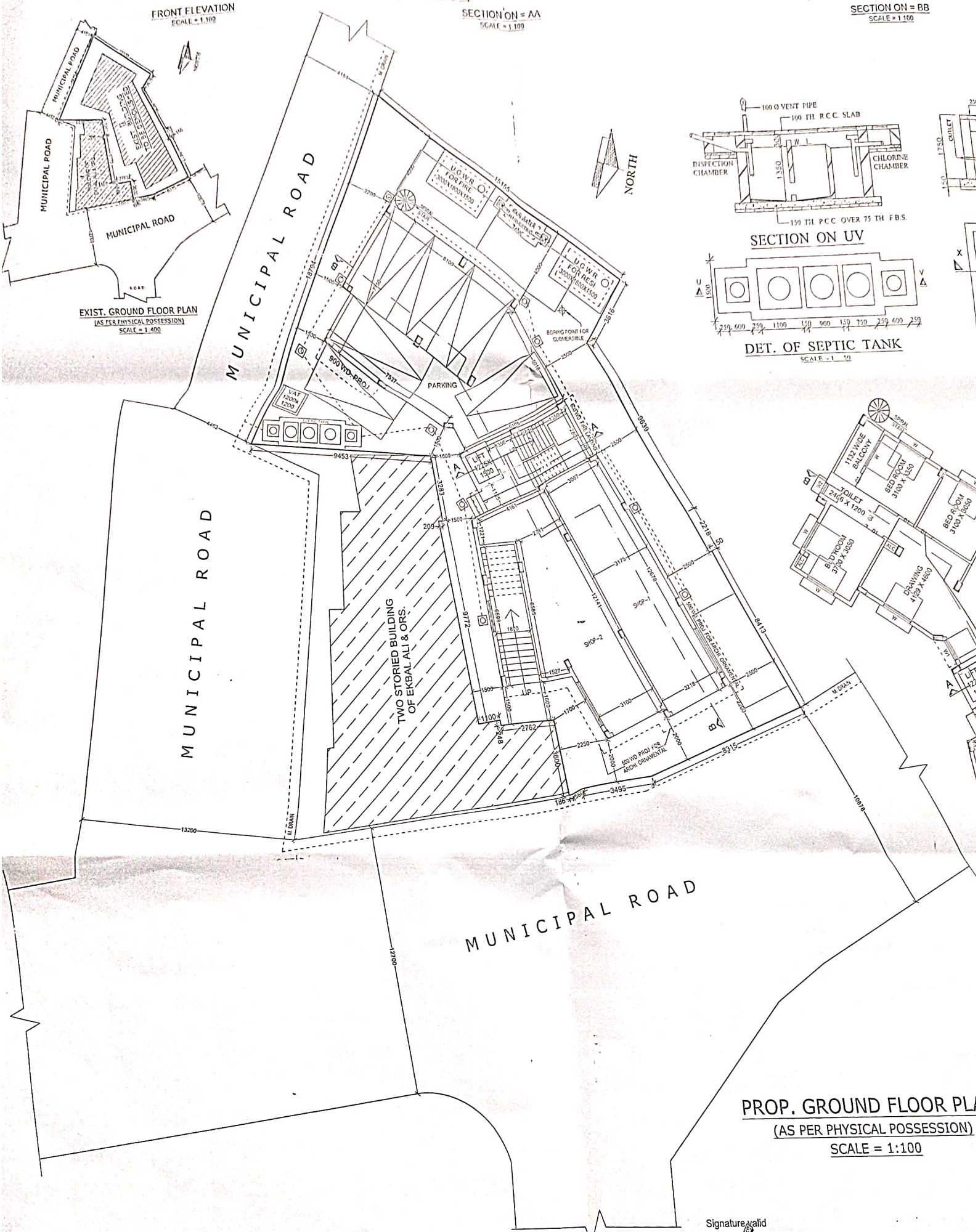


SECTION = SS  
SCALE = 1:50

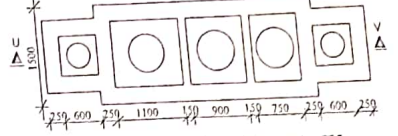
FRONT ELEVATION  
SCALE = 1:100

SECTION ON = AA  
SCALE = 1:100

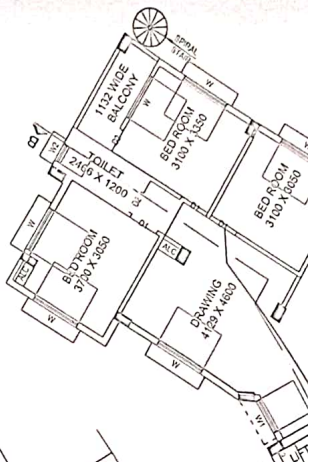
SECTION ON = BB  
SCALE = 1:100



SECTION ON UV



DET. OF SEPTIC TANK  
SCALE = 1:50



**PROP. GROUND FLOOR PL**  
(AS PER PHYSICAL POSSESSION)  
SCALE = 1:100

Signature valid  
Digitally Signed  
Name: Achi Ravi  
Date: 2023.11.15 11:45:20  
Reason: I am the Permit  
Location: Rajahmundry  
Chiruvu



**PROP. FIRST FLOOR PLAN**  
 SCALE = 1:100

**PROP. SECOND FLOOR PLAN**  
 SCALE = 1:100

**PROP. THIRD FLOOR PLAN**  
 SCALE = 1:100

**PROP. FOURTH FLOOR PLAN**  
 SCALE = 1:100

**ROOF PLAN**  
 SCALE = 1:100

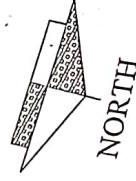
**GROUND FLOOR PLAN**  
 (FOR PHYSICAL POSSESSION)  
 SCALE = 1:100



ARCHITECTURAL PLAN FOR PROPOSED FIVE STORIED (G+IV) PRINCIPALLY RESIDENTIAL & PARTLY COMMERCIAL BUILDING OF (1) EKBAL ALI, (2) SHALIMA AKHTAR, (3) SABANA YASMIN, (4) TANIA NAJ, (5) SOFIA NAZ, DEVELOPMENT POWER OF ATTORNEY TO CONSTITUTE TO SRI SUDIPTA SADHUKHAN, S/O SRI PRATAP SADHUKHAN, AT MOUZA - HOOGHLY, P.S.- CHINSURAH, J.L. NO.- 19, L.R. KHATIAN NO.- 6613, 6614, 6615, 6616, 6617, L.R. DAG NO.- 3664, 3673, 4699, WARD NO.- 14, HOLDING NO.- 115 / 114 / 102, MOHALLA - KASHIMPUR, UNDER HOOGHLY CHINSURAH MUNICIPALITY, DIST.- HOOGHLY.

**AREA STATEMENT:-**

AREA OF LAND AS PER PORCHA	= 513.95 SQM.
AREA OF LAND AS PER PHYSICAL POSSESSION	= 430.49 SQM.
PROP. TOTAL GROUND FLOOR COVD. AREA	= 206.80 SQM.
GROUND FLOOR COMMERCIAL	= 104.90 SQM.
GROUND FLOOR PARKING / GARAGE AREA	= 83.28 SQM.
GROUND FLOOR STAIR, LIFT AND LOBBY AREA	= 18.50 SQM.
PROP. FIRST FLOOR COVD. AREA	= 209.90 SQM.
FIRST FLOOR STAIR, LIFT AND LOBBY AREA	= 16.35 SQM.
FIRST FLOOR COMMERCIAL AREA	= 106.64 SQM.
FIRST FLOOR RESIDENTIAL AREA	= 86.38 SQM.
PROP. SECOND FLOOR COVD. AREA	= 209.90 SQM.
SECOND FLOOR STAIR, LIFT AND LOBBY AREA	= 16.35 SQM.
PROP. THIRD FLOOR COVD. AREA	= 209.90 SQM.
THIRD FLOOR STAIR, LIFT AND LOBBY AREA	= 16.35 SQM.
PROP. FOURTH FLOOR COVD. AREA	= 209.90 SQM.
FOURTH FLOOR STAIR, LIFT AND LOBBY AREA	= 16.35 SQM.
PROP. TOTAL COVD. AREA	= 1046.40 SQM.
HEIGHT FROM G.L. TO P.L.	= 0.6 M.
TOTAL BUILDING HEIGHT	= 15.5 M.
TOTAL STORIED	= 5.
NO. OF SEPTIC TANK	= 1.
NO. OF TENAMENTS	= 8.
NO. OF TOILET	= 18.
NO. OF PRIMARY STAIR CASE & LIFT FOR RESI.	= 1.
SECONDARY STAIR FOR COMMERCIAL	= 1.



**SCHEDULE OF DOORS & WINDOWS**

MKD.	WIDTH	HEIGHT	REMARKS
D	1050	2100	PANEL
D1	900	2100	PANEL
D2	750	2100	PANEL
W	1500	1200	PANEL
W1	1000	1000	PANEL
W2	600	750	GLASS

**NOTES**

ALL DIMENSION ARE IN MM.  
SCALE 1:100, 1:200, 1:50, 1:25  
HEIGHT OF BUILDING UPTO  
15.5 M. FROM G.L.

**CONSTRUCTION SPECIFICATIONS**

- 250TH, 200TH & 125TH WALL WILL BE OF 1S<sup>t</sup> CLASS BRICK IN SAND & CEMENT MORTAR (6:1) & (4:1) RESPECTIVELY.
- R.C.C. WORK (1:1.5:3) CEMENT, SAND, STONE CHIPS MORTAR WITH 1.2% REINFORCEMENT (LINTEL, SUNSHADE, BEAM) WITH WATER PROOFING COMPOUND.
- CEMENT PLASTER(1:6) & (1:3) SAND, CEMENT MORTAR ON INSIDE AND OUTSIDE WALL.
- LIME TERRACING WITH LIME CONCRETE OF RATIO 2:2:1.

**OWNER'S SIGNATURE:-**

(1) EKBAL ALI \_\_\_\_\_

(2) SHALIMA AKHTAR \_\_\_\_\_

(3) SABANA YASMIN \_\_\_\_\_

(4) TANIA NAJ \_\_\_\_\_

(5) SOFIA NAZ \_\_\_\_\_

**SIGNATURE OF DEVELOPER:-**

DEVELOPMENT POWER OF ATTORNEY TO CONSTITUTE  
" SUDIPTA SADHUKHAN "

**SIGNATURE OF L.B.S.-**



Goutam Nandi, M. Tech (Str.)

Consulting Civil Engineer  
+91 9433510304, 9330574542

